

Modification to Development Plan Application

Application to the Planning & Zoning Commission



City of Groveport
Building & Zoning Department
655 Blacklick St
Groveport, OH 43125
614-830-2045

Date: 10-2-20

Case # 2020-07

Fee: \$150.00

Address of property 674-716 MASH STREET located on the E side of
FRONT STREET street / road / avenue.

Parcel # 185-002946

Applicant Name: BEN PUNTURA Phone: 614.488.6252

Address: 1500 WEST FIRST AVENUE COLUMBUS, OHIO 43212

Owner Name: CITY OF GROVEPORT Phone: 614.830.2045

Address: 655 BLACKLICK ST. GROVEPORT, OH 43125

The property is currently being used for: VACANT PROPERTY

The property is currently zoned: SCPD

I am requesting modification to the following items in the development plan:

BUILDING ELEVATION AND FLOOR PLAN CHANGES, DUMPSTER ENCLOSURE

DRIVE AISLE AND PARKING STALL CHANGES

Submittal Requirements: Applicant shall submit this application including the property owners list (see attached form), the filing fee, and twenty (20) copies of the following items to make a complete packet.

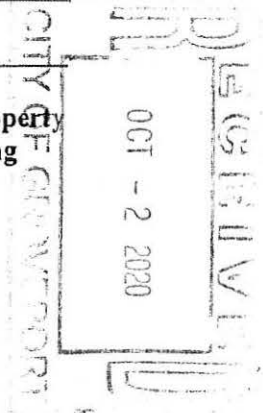
- Drawings, site plan, information, and any other plans that may be applicable.
- Statement of how the proposed modification will affect the original development plan and the reasons for such modification.
- Any additional information that may be helpful to the Planning & Zoning Commission.

B. Puntura
Applicant's Signature

BEN PUNTURA
Applicant's Printed Name

614.488.6252
Contact phone number

bpuntura@rodarchitects.com
Email address



PROPERTY OWNERS LIST

List of all adjoining property owners, contiguous to, and directly across the street from such proposed development. List must be in accordance with the Franklin County Auditor's current tax list and must include all the below information.

The Auditor's website is: www.franklincountyauditor.com Go to *Your Property, Property Search*, put your address in, then go to *Mapping*, and then *Buffer Search*. If you need assistance, call the City of Groveport Building Department at 614-830-2045.

Parcel Number: 185-000321

Owner's Name: William Lemon
Address: 919 Dimson Dr E
City & State: Columbus, OH Zip Code 43213

Site Address: 663 Main St

Mail Address: Name: Same
Address: _____
City & State: _____ Zip Code _____

Parcel Number: 185-000275

Owner's Name: Board of Education
Address: 4400 Marketing Pl, Ste B
City & State: Groveport, OH Zip Code 43125

Site Address: 715 E. Main St

Mail Address: Name: Same
Address: _____
City & State: _____ Zip Code _____

Parcel Number: 185-000197

Owner's Name: Larry & Norma Bentley
Address: 736 Main St
City & State: Groveport, OH Zip Code 43125

Site Address: 736 Main St

Mail Address: Name: Same
Address: _____
City & State: _____ Zip Code _____

PROPERTY OWNERS LIST

List of all adjoining property owners, contiguous to, and directly across the street from such proposed development. List must be in accordance with the Franklin County Auditor's current tax list and must include all the below information.

The Auditor's website is: www.franklincountvauditor.com Go to *Your Property*, *Property Search*, put your address in, then go to *Mapping*, and then *Buffer Search*. If you need assistance, call the City of Groveport Building Department at 614-830-2045.

Parcel Number: 185-000110 & 185-000689

Owner's Name: Steven & Donna Thomson
Address: 230 Front St
City & State: Groveport, OH Zip Code 43125

Site Address: 230 Front St & D Front St

Mail Address: Name: same
Address: _____
City & State: _____ Zip Code _____

Parcel Number: 185-000109

Owner's Name: David & Jo Ellen Stebelton
Address: 240 Front St
City & State: Groveport, OH Zip Code 43125

Site Address: 240 Front St

Mail Address: Name: same
Address: _____
City & State: _____ Zip Code _____

Parcel Number: _____

Owner's Name: _____
Address: _____
City & State: _____ Zip Code _____

Site Address: _____

Mail Address: Name: _____
Address: _____
City & State: _____ Zip Code _____

FORD & ASSOCIATES

A R C H I T E C T S

October 2, 2020

City of Groveport
Building & Zoning Department
655 Blacklick St.
Groveport, OH 43125
614.830.2045

This statement is to outline the requirements and changes associated with the Modification to Development Plan Application for the proposed Rarey's Port Building located at the address 674-716 Main Street, Groveport, OH 43125.

Property Location:

The Rarey's Port Building is proposed to be located north of Main Street, East of Front Street, and north of the intersection of Wirt Road and Main Street. The proposed structure is oriented to face Main Street and planned to utilize the existing parking on site with some modifications.

Request for Modifications to Development Plan:

The property is currently a part of the approved Development Plan under File Number ORD. 13-010.

This application is requesting modifications (listed below) to the previously approved Development plan in accordance with Chapter 1136 and Select Commercial Planned District Chapter 1161.

Requested Modifications:

- *Building Elevation and Floor Plan Changes – Proposed building is 2 stories - See attached Architectural Building Plans and Elevations in accordance with Chapter 1161.*
- *Revised Site Plan, focusing on Rarey's Port Building. Parking Lot and Development are existing to remain.*
- *Revised sidewalk on the North side of the Building*
- *Relocation of sanitary and water service.*
- *Addition of retaining wall on the north side near the proposed patio.*
- *Addition of transformer pad.*
- *Addition of dumpster enclosure to the north of the proposed structure to service the proposed Rarey's Port Building.*
- *Extending drive aisle termination to align with office entry along the north elevation in the proposed Rarey's Port Building.*
- *Extension of parking stalls to the south along the existing multi-purpose trail to accommodate the proposed dumpster enclosure.*

1500 WEST FIRST AVENUE
COLUMBUS, OHIO 43212

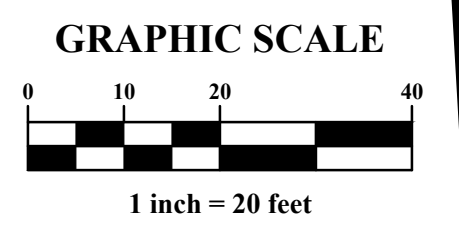
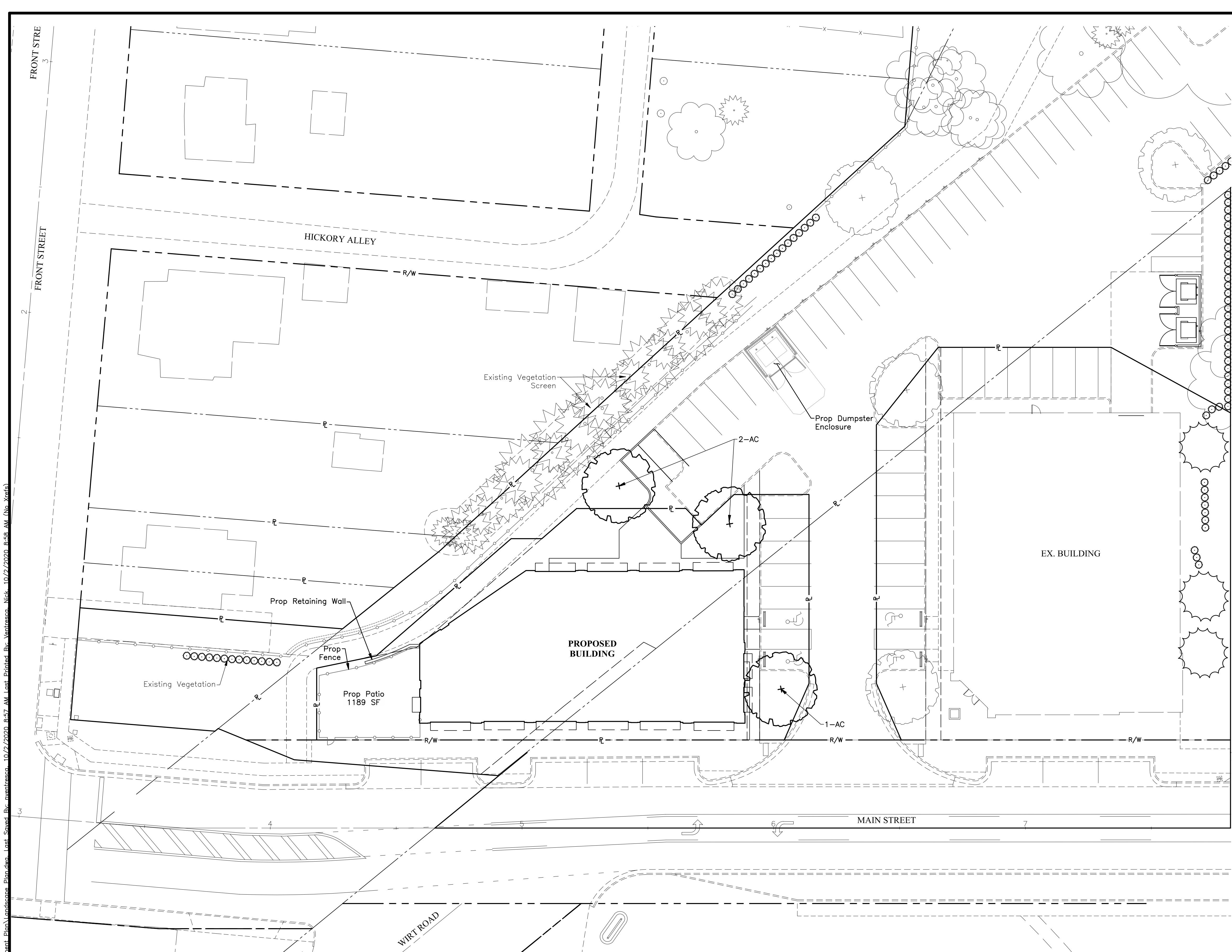
614.488.6252
www.fordarchitects.com

City of Groveport
Building & Zoning Department
October 2, 2020
Page 2

The requested modifications are to enhance the overall function and performance of the site within the requirements approved in the previous development plan. The building footprint is modified slightly to respect the existing multi-purpose trail. The building area has also increased to accommodate a second floor office with ground floor retail. The modifications listed above aim to strengthen the commercial corridor along Main Street.

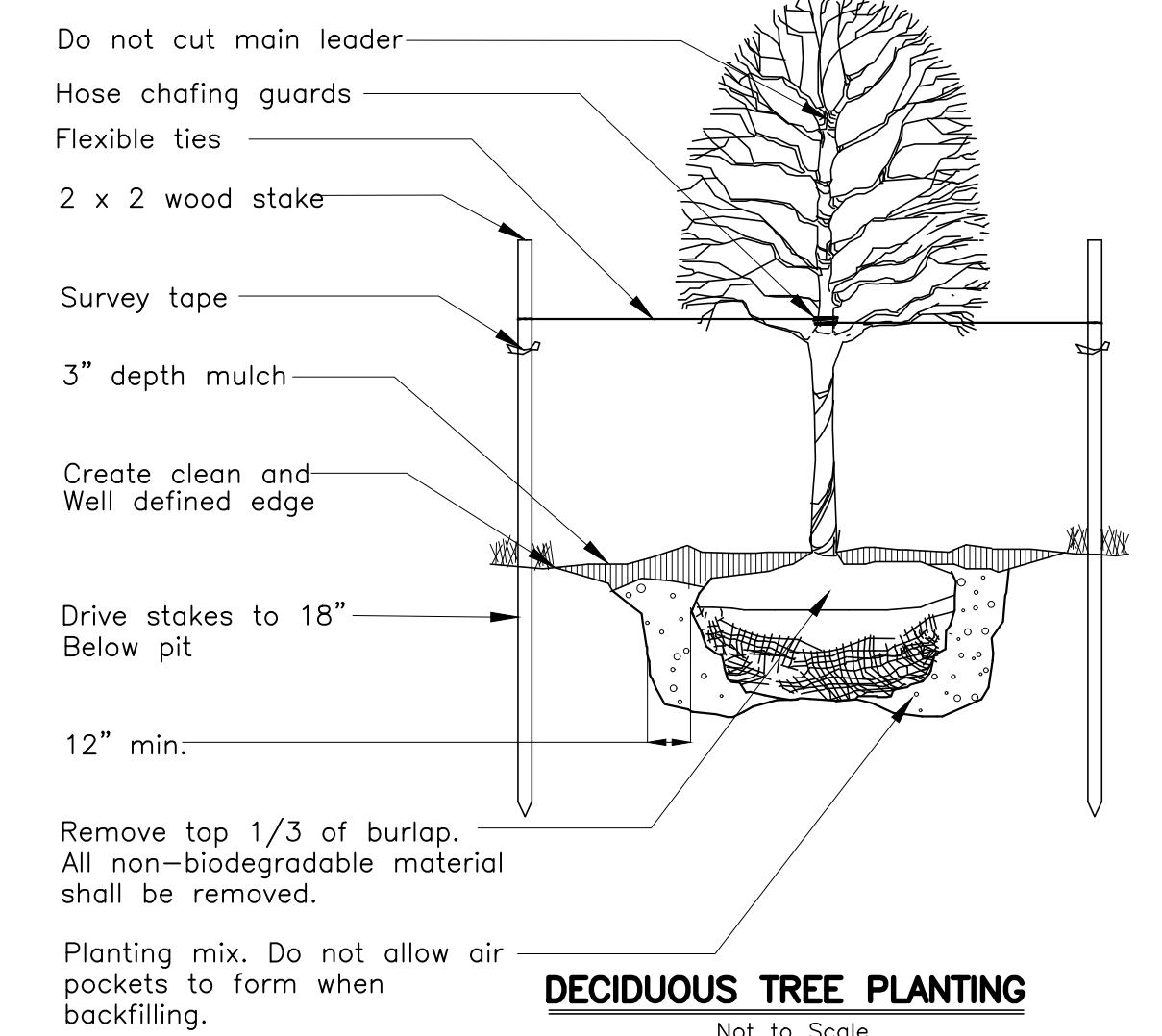
Attachments: Civil Documents and Site Plan, Architectural Building Plans and Elevations

Ben Punturi
Project Manager



GENERAL NOTES

- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, 2004. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- All planting operations shall adhere to American Nursery & Landscape Association standards unless noted otherwise.
- Substitutions shall be permitted with notification and written approval from the Landscape Architect. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
- Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- All planting beds shall be covered with mesh weed barrier. Impervious plastic is not acceptable.
- Bed edge shall be smooth, consistent, hand trenched 3" to 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 6' min.
- Tree shall be placed a minimum of 3' from sidewalks and curbs.
- All planting beds to be tilled and backfilled with prepared planting mix to a minimum depth of 12 inches. All individually planted trees and shrubs to be backfilled with prepared planting mix. Prepared planting mix shall be mixed on site and consist of one part topsoil, one part soil amendment, one part soil from excavation. Topsoil: ASTM D5268, ph range of 5.5 to 7, min. 4 percent organic material, free of stones 1 inch and larger. Soil amendment: sphagnum peat moss or EPA rated class iv compost.
- Raised beds, including mulch, shall be no higher than 6 inches above adjacent grade.
- Lawn areas to be backfilled with topsoil to a minimum settled thickness of 6 inches.
- All trees, shrubs, groundcover, and lawns to be fertilized with a commercial grade fertilizer consisting of fast and slow release nitrogen.
- Composition and application rate of fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit test results and amendment recommendations to Landscape Architect. Fertilizer shall be in a dry granular form for lawns and granular or tablet form for plants.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
- Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.



PLANT LIST						
(The City of Groveport is responsible for all plant quantities shown on plan.)						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
DECIDUOUS TREE						
3	AC	Aesculus x. carnea	Ruby Red Flowered Horsechestnut	12" Cal	B&B	Matched Form

GENERAL NOTES

- All landscape and fencing work to be performed by The City of Groveport or the Developer. Landscape plan (L1.1) is for Contractor reference only.

PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
 October 2, 2020

REVISIONS	
MARK	DESCRIPTION

MILLER-VALENTINE GROUP

CITY OF GROVEPORT, FRANKLIN COUNTY, OHIO
 AMENDED FINAL DEVELOPMENT PLAN
 FOR
RAREY'S PORT BUILDING
 674-716 MAIN STREET

DATE
 October 2, 2020

SCALE
 1" = 20'

JOB NO.
 2020-0882

SHEET
L1.0

10/2/2020 8:57 AM Led. Edited: Bv. Ventresca - Nick 10/2/2020 8:58 AM (No Xrefs)
 C:\2020\0882\Draw\04Sheets\Development_Plan\Landscape_Plan.dwg - Led. Saved: Bv. Ventresca - Nick 10/2/2020 8:58 AM (No Xrefs)

RAREY'S PORT SHELL BUILDING

674-716 Main Street
Groveport, Ohio 43125

FOR **Miller Valentine Group**
409 E Monument Avenue, Suite 200, Dayton, Ohio 45402

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PRELIMINARY
NOT FOR CONSTRUCTION

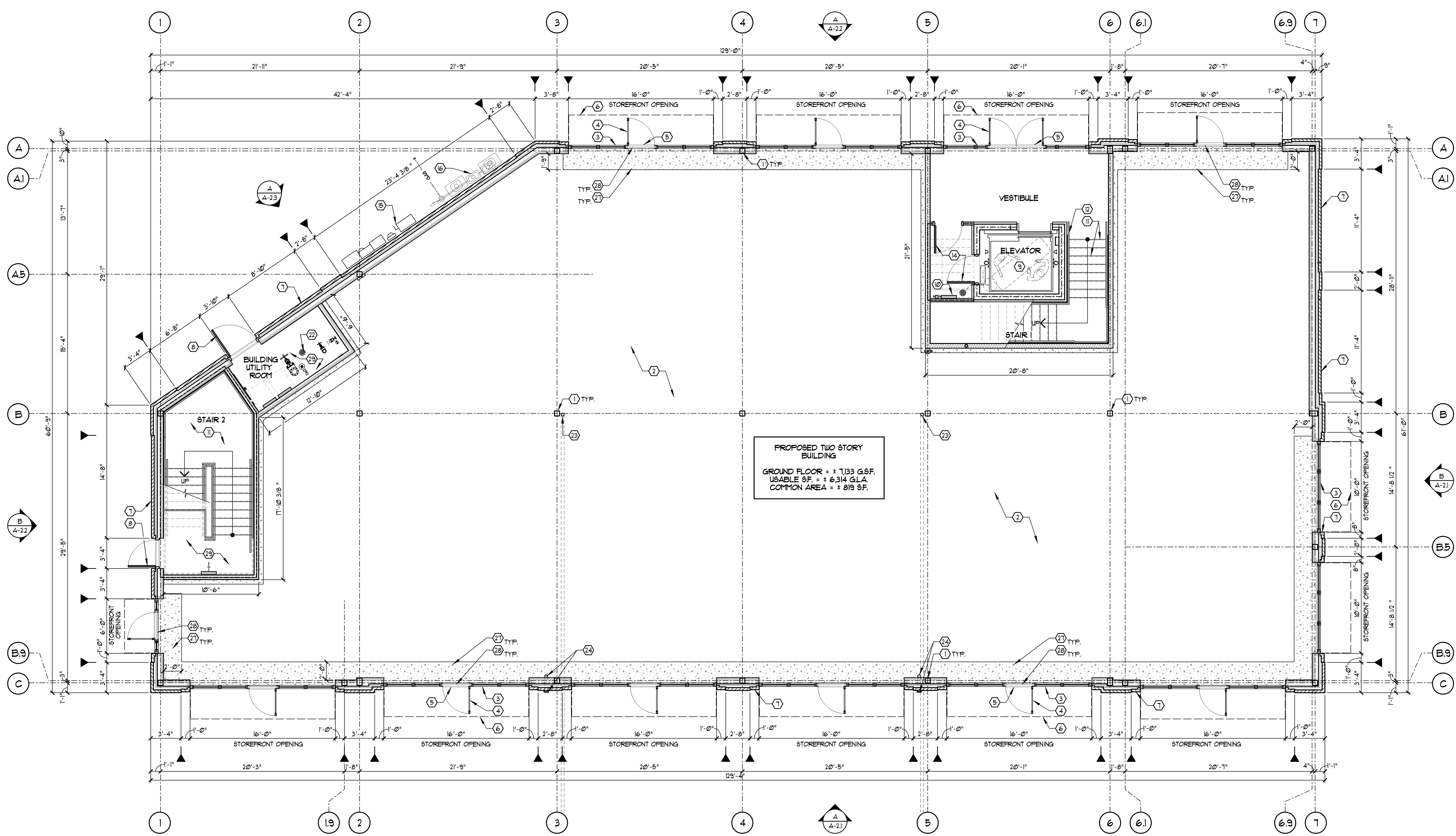
ISSUE	REVISION	DATE
SKETCH PLAN		APR. 3, 2020
PRELIMINARY		APR. 15, 2020
ZONING SUBMIT		JUN. 8, 2020
PAZ COMMISSION		OCT. 2, 2020
PRELIMINARY		SEP. 16, 2020

GROUND FLOOR PLAN

FAA #202089.00

GROVEPORT FRONT & MAIN

A-1.1



PROPOSED TWO STORY BUILDING
GROUND FLOOR = ± 7,193 G.S.F.
USABLE S.F. = ± 6,914 G.L.A.
COMMON AREA = ± 819 S.F.

A GROUND FLOOR PLAN
SCALE 3/16" = 1'-0"

SYMBOL LEGEND	
	PLAN CODED NOTE TAG (SEE SHEET A-11 FOR SCHEDULE)
	DOOR NUMBER TAG
	CONTROL JOINT AT 20'-0" O.C. MAX.
	WALL / PARTITION
	WINDOW / CURTAINWALL SYSTEM

PLAN CODED NOTES			
①	STRUCTURAL STEEL BUILDING COLUMN.	⑪	CONCRETE-FILLED METAL PAN STAIR.
②	FUTURE 4" CONCRETE SLAB w/ 6x6 - W/4 x W/4 WUF OVER 5 MIL CLASS 'A' VAPOR RETARDER OVER MIN. 4" COMPACTED GRANULAR FILL.	⑫	1 1/2" DIA. STEEL HANDRAIL.
③	2" x 4 1/2" KALNEER TRIFAB VG 451-T ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLASS.	⑬	WINDOW UNIT.
④	ALUMINUM STOREFRONT SYSTEM ENTRANCE DOOR(S) w/ 1" INSULATED GLASS AS SCHEDULED.	⑭	DOOR w/ HOLLOW METAL FRAME.
⑤	ALUMINUM THRESHOLD AT ALL EXTERIOR DOOR(S) SET IN FULL BED OF SEALANT.	⑮	FIRE EXTINGUISHER.
⑥	LINE OF AWNING/CANOPY ABOVE.	⑯	LINE OF FUTURE INTERIOR CONSTRUCTION.
⑦	3 5/8" BRICK VENEER w/ AIR SPACE.	⑰	BUILDING ELECTRICAL SERVICE.
⑧	INSULATED HOLLOW METAL SERVICE DOOR w/ HOLLOW METAL FRAME - PAINT.	⑱	GAS METER SET.
⑨	MACHINE-ROOMLESS ELEVATOR.	⑲	UNDERGROUND SANITARY & GREASE LINE.
⑩	ELEVATOR EQUIPMENT.	⑳	GREASE INTERCEPTOR.
		㉑	PROPOSED FUTURE RESTROOM LOCATION.
		㉒	FLOOR DRAIN.
		㉓	PRIMARY ROOF DRAIN CONNECT TO UNDERGROUND STORY LINE. (SEE CIVIL SHEETS)
		㉔	SECONDARY ROOF DRAIN LEADER WITH THROUGH WALL OVERFLOOR NOZZLE WITH LAMB'S TONGUE FITTING.
		㉕	LINE OF PRIMARY ROOF DRAIN ABOVE.
		㉖	LINE OF SECONDARY ROOF DRAIN ABOVE.
		㉗	FOUR PORTION OF SLAB THROUGH AT OPENINGS AS REQUIRED TO INSTALL DOOR, FRAME, AND SILLS. (SEE STRUCTURAL SHEETS)
		㉘	FROST SLAB AT ENTRY DOORS. (SEE STRUCTURAL SHEETS)
		㉙	4" CONCRETE SLAB w/ 6" x 6" W/4x W/4 WELDED WIRE REINFORCING OVER 5 MIL VAPOR BARRIER o/ 4" MINIMUM COMPACTED GRANULAR FILL.
		㉚	3/4" STRUCTURAL FRT. WOOD PANEL SHEATHING DECKING o/ PRE-ENGINEERED WOOD FLOOR TRUSSES @ 16" O.C.

RAREY'S PORT SHELL BUILDING

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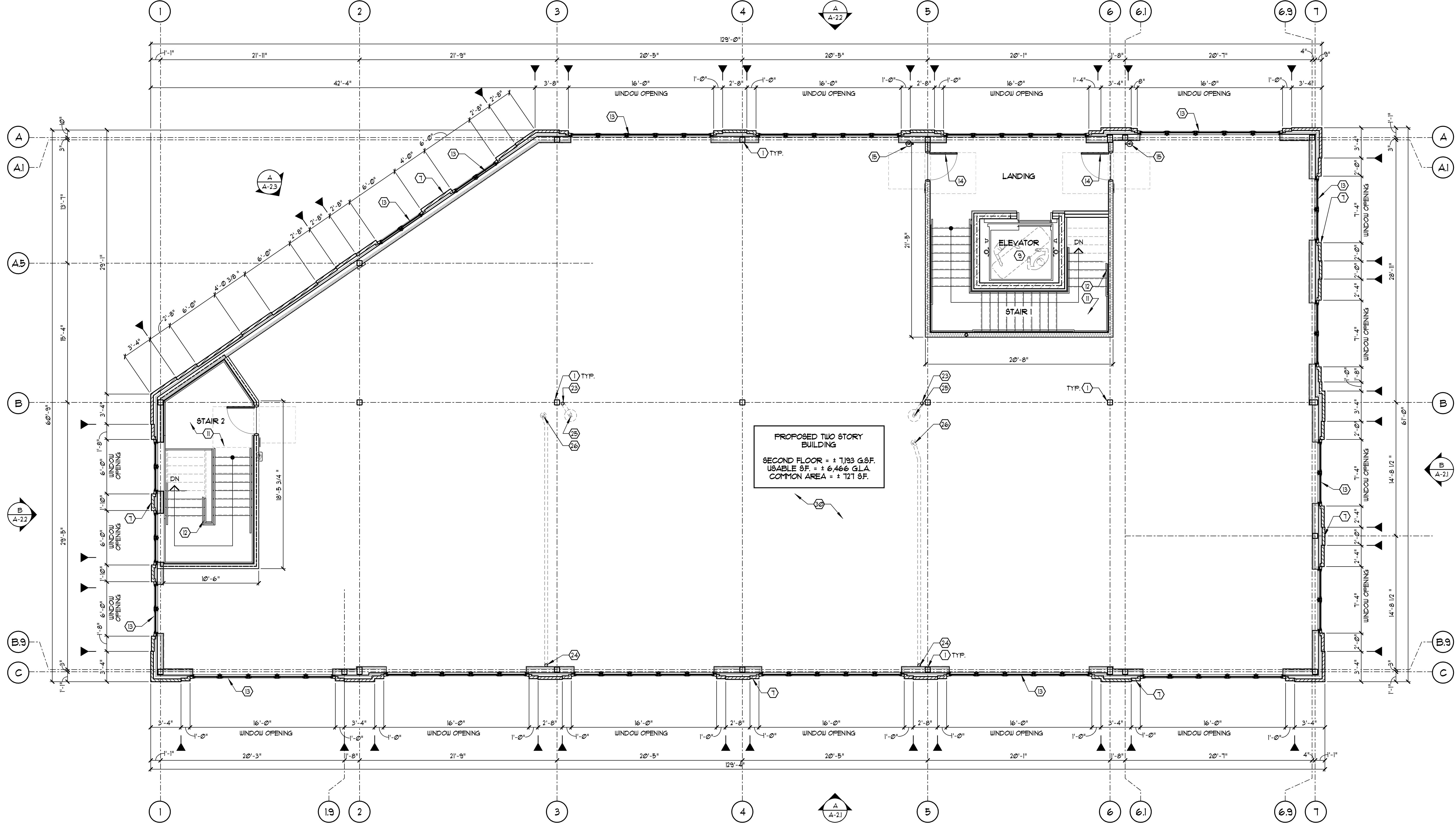
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SECOND FLOOR PLAN

FAA #200389.00

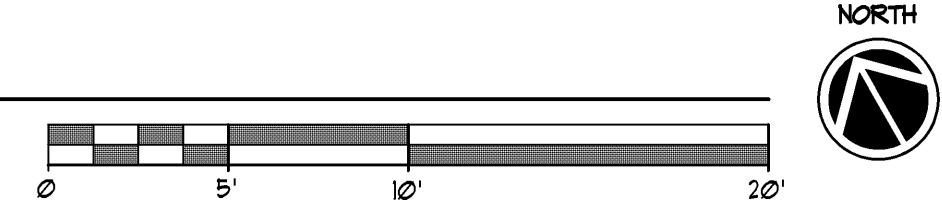
GROVEPORT FRONT & MAIN

A-1.2



PROPOSED TWO STORY BUILDING
SECOND FLOOR = ± 7,193 G.S.F.
USABLE SF. = ± 6,466 G.L.A.
COMMON AREA = ± 121 SF.

A SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"



SYMBOL LEGEND	
	PLAN CODED NOTE TAG (SEE SHEET A-11 FOR SCHEDULE)
	DOOR NUMBER TAG
	CONTROL JOINT AT 20'-0" O.C. MAX.
	WALL / PARTITION
	WINDOW / CURTAINWALL SYSTEM

PLAN CODED NOTES			
①	STRUCTURAL STEEL BUILDING COLUMN.	⑪	CONCRETE-FILLED METAL PAN STAIR.
②	FUTURE 4" CONCRETE SLAB w/ 6x6 - W/4 x W/4 WUF OVER 5 MIL CLASS 'A' VAPOR RETARDER OVER MIN. 4" COMPACTED GRANULAR FILL.	⑫	1 1/2" DIA. STEEL HANDRAIL.
③	2" x 4 1/2" KAWNEER TRIFAB VG 451-T ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLASS.	⑬	WINDOW UNIT.
④	ALUMINUM STOREFRONT SYSTEM ENTRANCE DOOR(S) w/ 1" INSULATED GLASS AS SCHEDULED.	⑭	DOOR w/ HOLLOW METAL FRAME.
⑤	ALUMINUM THRESHOLD AT ALL EXTERIOR DOOR(S) SET IN FULL BED OF SEALANT.	⑮	FIRE EXTINGUISHER.
⑥	LINE OF AWNING/CANOPY ABOVE.	⑯	LINE OF FUTURE INTERIOR CONSTRUCTION.
⑦	3 5/8" BRICK VENEER w/ AIR SPACE.	⑰	BUILDING ELECTRICAL SERVICE.
⑧	INSULATED HOLLOW METAL SERVICE DOOR w/ HOLLOW METAL FRAME - PAINT.	⑱	GAS METER SET.
⑨	MACHINE-ROOMLESS ELEVATOR.	⑲	UNDERGROUND SANITARY & GREASE LINE.
⑩	ELEVATOR EQUIPMENT.	⑳	GREASE INTERCEPTOR.
		㉑	PROPOSED FUTURE RESTROOM LOCATION.
		㉒	FLOOR DRAIN.
		㉓	PRIMARY ROOF DRAIN CONNECT TO UNDERGROUND STORY LINE. (SEE CIVIL SHEETS)
		㉔	SECONDARY ROOF DRAIN LEADER WITH THROUGH WALL OVERFLOOR NOZZLE WITH LAMB'S TONGUE FITTING.
		㉕	LINE OF PRIMARY ROOF DRAIN ABOVE.
		㉖	LINE OF SECONDARY ROOF DRAIN ABOVE.
		㉗	FOUR PORTION OF SLAB THROUGH AT OPENINGS AS REQUIRED TO INSTALL DOOR, FRAME, AND SILLS. (SEE STRUCTURAL SHEETS)
		㉘	FROST SLAB AT ENTRY DOORS. (SEE STRUCTURAL SHEETS)
		㉙	4" CONCRETE SLAB w/ 6" x 6" W/4x W/4 WELDED WIRE REINFORCING OVER 5 MIL VAPOR BARRIER o/ 4" MINIMUM COMPACTED GRANULAR FILL.
		㉚	3/4" STRUCTURAL FRT. WOOD PANEL SHEATHING DECKING o/ PRE-ENGINEERED WOOD FLOOR TRUSSES @ 16" O.C.

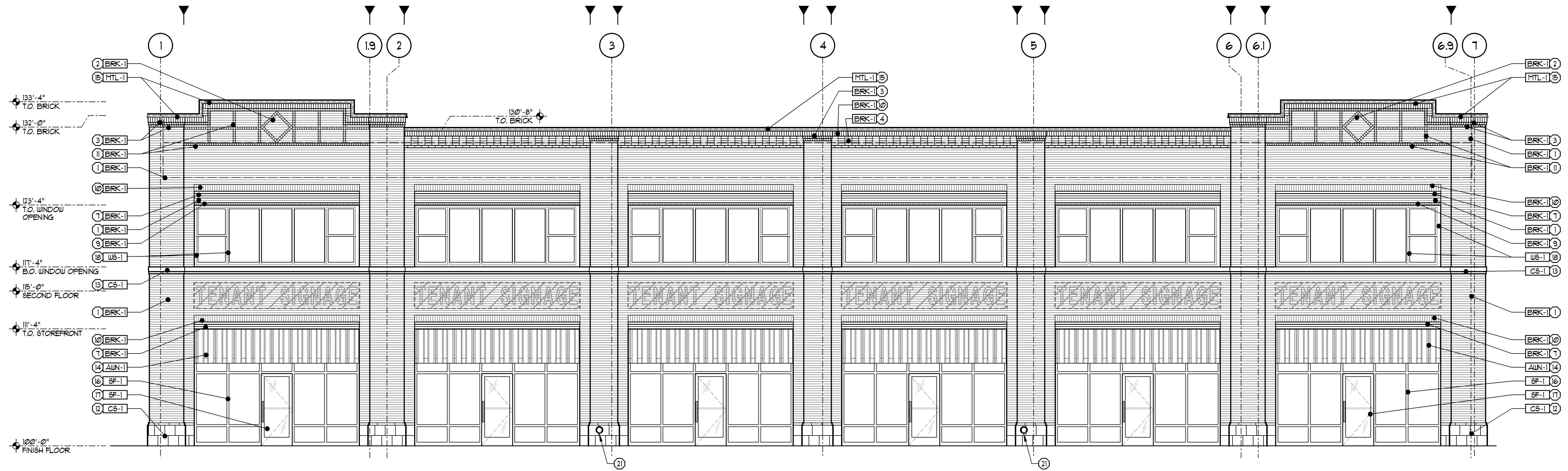
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BUILDING ELEVATIONS AND NOTES

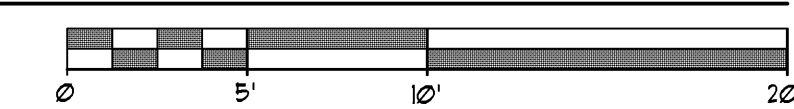
FAA #200389.00

GROVEPORT FRONT & MAIN

A-2.1



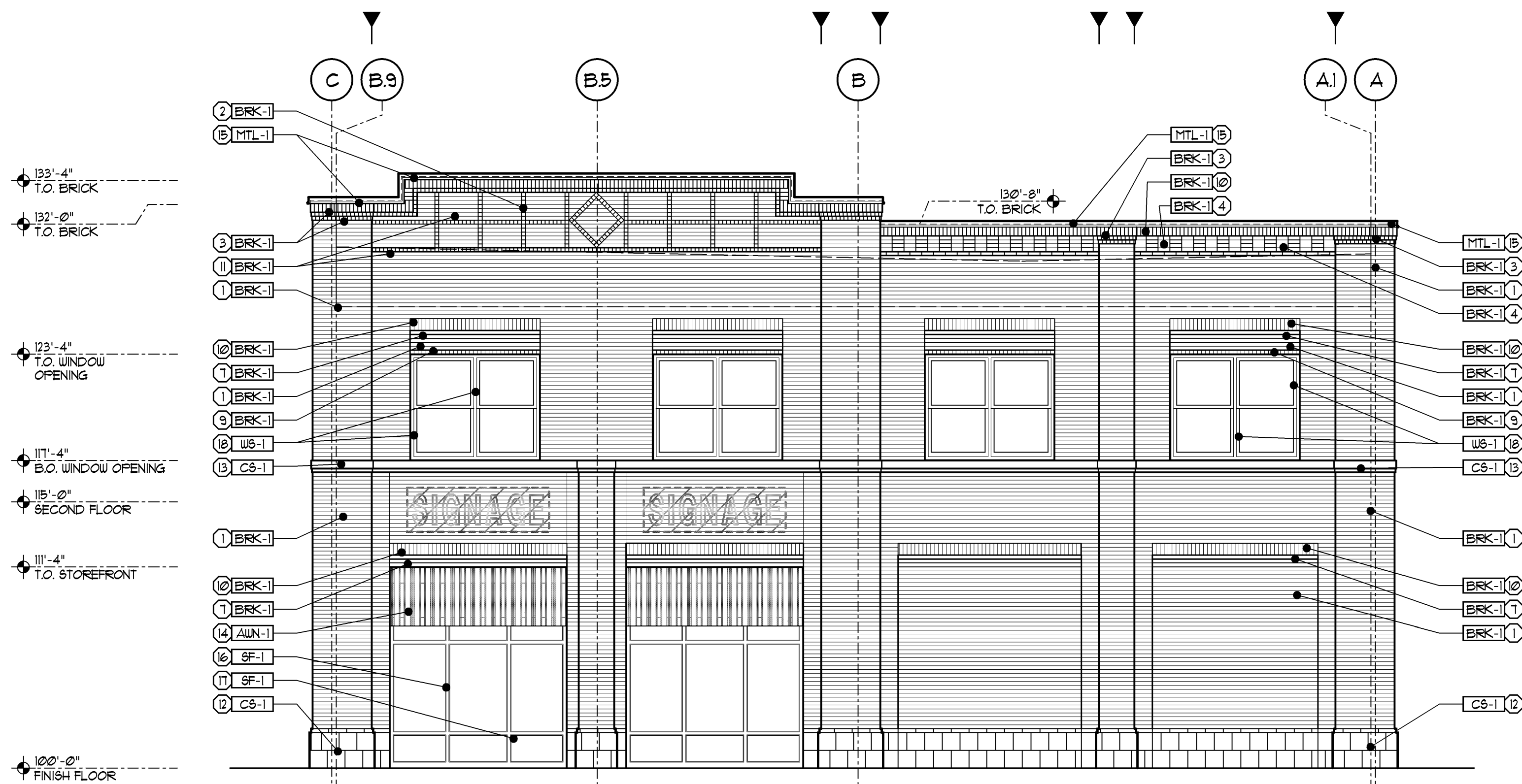
A SOUTH ELEVATION (MAIN STREET)
SCALE 3/16" = 1'-0"



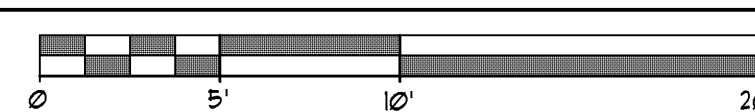
EXTERIOR FINISH SCHEDULE		
MARK	TYPE	NOTES
BRK-1	BRICK VENEER - MODULAR	BELDEN COLOR - NAPIER BLEND A MORTAR - RICHCOLOR 402 TAN
MTL-1	PREFINISHED METAL COPING, FASCIA EDGE	DM1 - 'MUSKET GRAY'
AUN-1	FABRIC AWNING	SUNBRELLA - AWNING 'EASTLAND REDWOOD'
FRM-1	FIRE-ENGINEERED METAL CANOPY	MATCH FINISH SF-1
FT-1	PAINT - SERVICE DOOR & WALL MOUNTED EQUIPMENT	SHERWIN WILLIAMS - #5W 2828 'ROOKWOOD DARK BROWN' EXTERIOR GRADE
SF-1	PREFINISHED ALUMINUM STOREFRONT SYSTEM	KAUWEER TRIFAB VG 4BIT SERIES, 2' x 4 1/2' w/ 1" INSULATED GLASS, COLOR - BLACK
US-1	PREFINISHED ALUMINUM WINDOW SYSTEM WITH METAL TRIM	KAUWEER - DOUBLE HUNG COLOR - BLACK
CS-1	ARCHITECTURAL CAST STONE	ROCKCAST - 'CREME BUFF'

ELEVATION CODED NOTES

- ① MODULAR BRICK VENEER - RUNNING BOND
- ② ACCENT CORNICE DETAIL - DIAMOND PATTERN ROULLOCK COURSING
- ③ BRICK 3-COURSE CORNICE - (1) SOLDIER OVER (2) HEADER COURSES - FULL 1/2" EACH COURSE
- ④ 4 COURSE BRICK CORNICE ACCENT DETAIL - (4) STACKED STRETCHER COURSES. RECESS ALL 4 COURSES 1/2"
- ⑤ BUILDING SERVICES AND UTILITIES. FINAL LOCATIONS SUBJECT TO CHANGE. PAINT.
- ⑥ ROULLOCK SILL COURSE
- ⑦ (2) COURSE BRICK CORBELLING - 1/2" RECESS EACH COURSE. ALIGN THIRD COURSE WITH SECOND COURSE.
- ⑧ 1/2" PULLED HEADER COURSE.
- ⑨ ROULLOCK COURSE.
- ⑩ SOLDIER COURSE
- ⑪ ACCENT CORNICE DETAIL - PATTERNED ROULLOCK COURSING.
- ⑫ ARCHITECTURAL CAST STONE BASE - NOM. 3" COURSE o/ (2) NOM. 12" COURSES
- ⑬ ARCHITECTURAL CAST STONE ACCENT BAND - NOM. 6" COURSE o/ NOM. 2" COURSE
- ⑭ FABRIC AWNING o/ EXTRUDED ALUMINUM FRAME.
- ⑮ PREFINISHED METAL COPING.
- ⑯ PREFINISHED ALUMINUM STOREFRONT SYSTEM.
- ⑰ ALUMINUM STOREFRONT SYSTEM ENTRANCE DOOR(S) w/ 1" INSULATED GLASS.
- ⑱ PREFINISHED ALUMINUM WINDOW SYSTEM WITH METAL TRIM.
- ⑲ FIRE-ENGINEERED ARCHITECTURAL METAL CANOPY w/ ADJUSTABLE HANGER RODS AND ANCHORS.
- ⑳ INSULATED HOLLOW METAL SERVICE DOOR & FRAME - PAINT. PROVIDE LOOSE ANGLE LINTEL & HEAD - PAINT
- ㉑ THROUGH WALL EMERGENCY OVERFLOW DRAIN NOZZLE WITH LAMB TONGUE FITTING AND INSECT SCREEN.



B EAST ELEVATION
SCALE 3/16" = 1'-0"



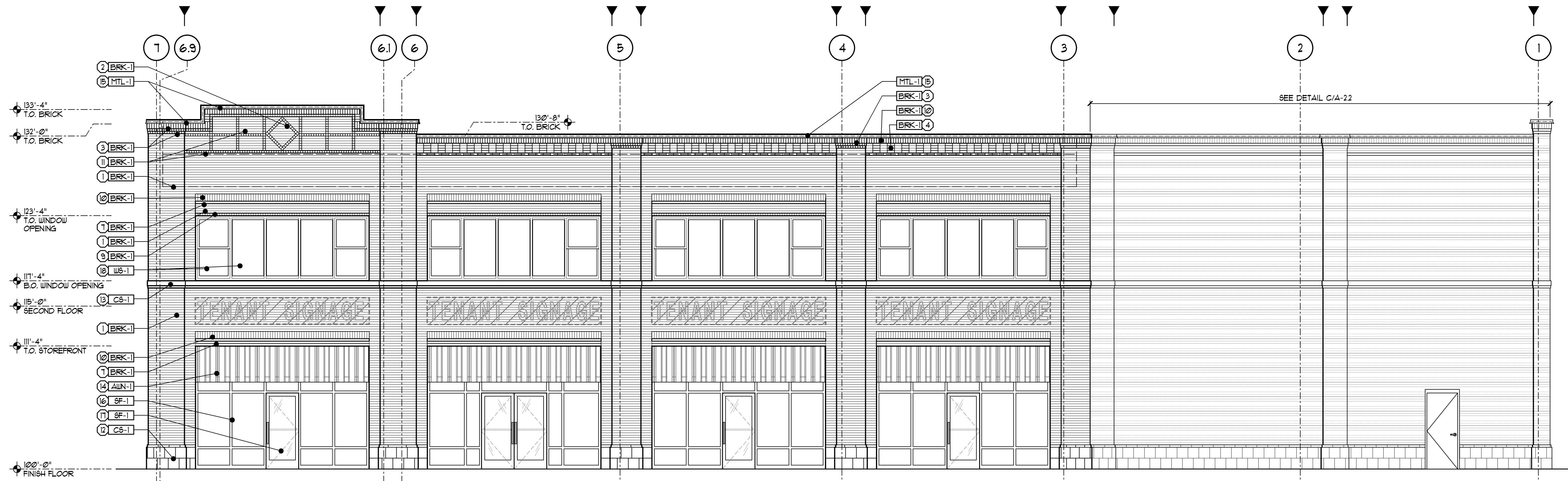
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BUILDING ELEVATIONS AND NOTES

FAA #20209.00

GROVEPORT FRONT & MAIN

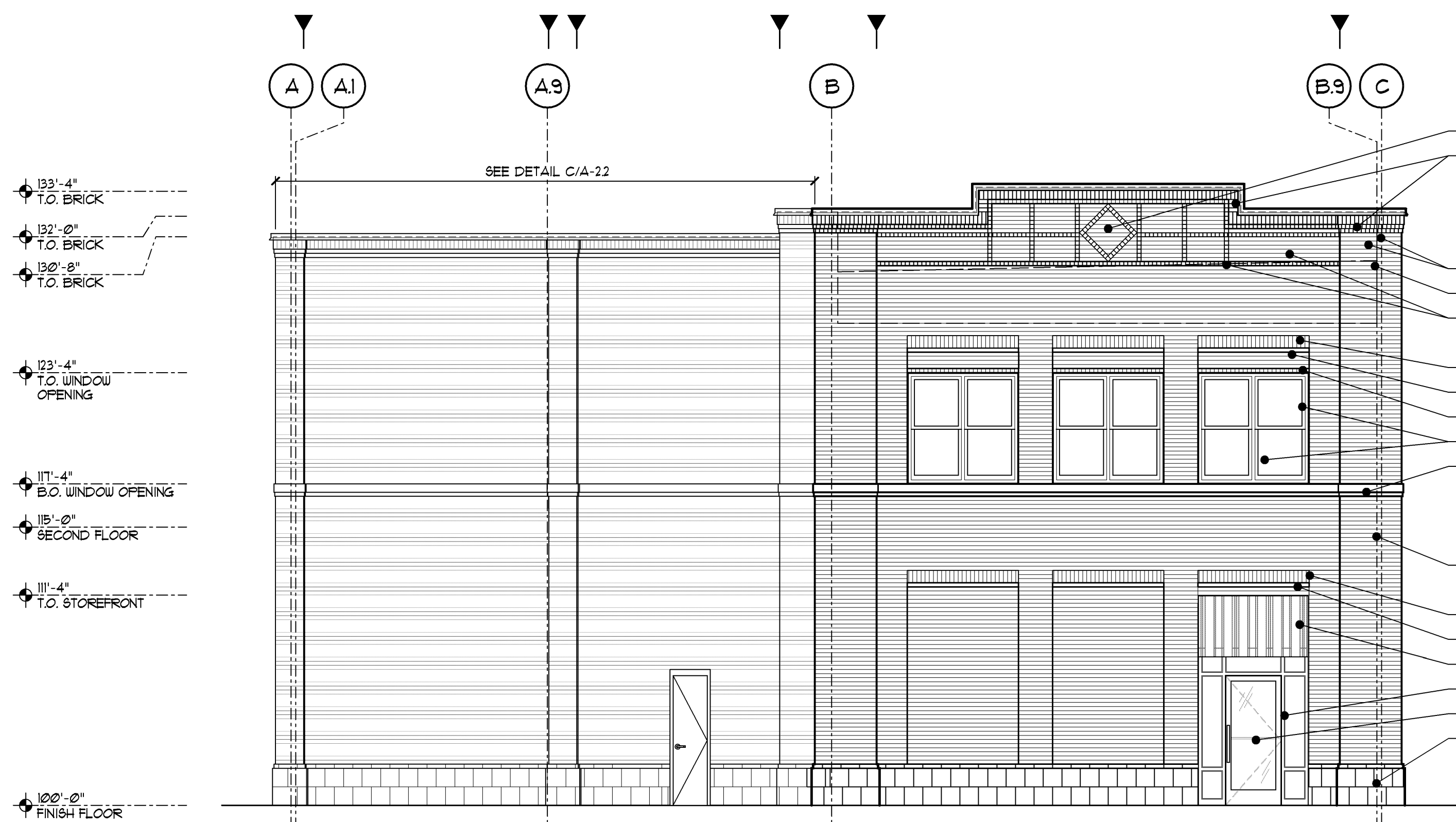
A-2.2



A NORTH ELEVATION
SCALE 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE		
MARK	TYPE	NOTES
BRK-1	BRICK VENEER - MODULAR	BELDEN COLOR - NAPIER BLEND A MORTAR - RICHCOLOR 40E TAN
MTL-1	PREFINISHED METAL COPING, FASCIA EDGE	DM1 - 'MUSKET GRAY'
AUN-1	FABRIC AWNING	SUNBRELLA - AWNING 'EASTLAND REDWOOD'
FT-1	FIRE-ENGINEERED METAL CANOPY	MATCH FINISH SF-1
SF-1	PAINT - SERVICE DOOR & WALL MOUNTED EQUIPMENT	SHERWIN WILLIAMS - #SW 2828 'ROOKWOOD DARK BROWN' EXTERIOR GRADE
US-1	PREFINISHED ALUMINUM STOREFRONT SYSTEM	KAUWEER TRIFAB VG 4BIT SERIES, 2' x 4 1/2" w/ 1" INSULATED GLASS, COLOR - BLACK
US-1	PREFINISHED ALUMINUM WINDOW SYSTEM WITH METAL TRIM	KAUWEER - DOUBLE HUNG COLOR - BLACK
CS-1	ARCHITECTURAL CAST STONE	ROCKCAST - 'CREME BUFF'

ELEVATION CODED NOTES		
1	MODULAR BRICK VENEER - RUNNING BOND	
2	ACCENT CORNICE DETAIL - DIAMOND PATTERN ROULOCK COURSING.	
3	BRICK 3-COURSE CORNICE - (1) SOLDIER OVER (2) HEADER COURSES - FULL 1/2" EACH COURSE	
4	4 COURSE BRICK CORNICE ACCENT DETAIL - (4) STACKED STRETCHER COURSES. RECESS ALL 4 COURSES 1/2".	
5	BUILDING SERVICES AND UTILITIES. FINAL LOCATIONS SUBJECT TO CHANGE. PAINT.	
6	ROULOCK SILL COURSE	
7	(2) COURSE BRICK CORBELLING - 1/2" RECESS EACH COURSE. ALIGN THIRD COURSE WITH SECOND COURSE.	
8	1/2" PULLED HEADER COURSE.	
9	ROULOCK COURSE.	
10	SOLDIER COURSE	
11	ACCENT CORNICE DETAIL - PATTERNED ROULOCK COURSING.	
12	ARCHITECTURAL CAST STONE BASE - NOM. 3" COURSE o/ (2) NOM. 12" COURSES	
13	ARCHITECTURAL CAST STONE ACCENT BAND. - NOM. 6" COURSE o/ NOM. 2" COURSE	
14	FABRIC AWNING o/ EXTRUDED ALUMINUM FRAME.	
15	PREFINISHED METAL COPING.	
16	PREFINISHED ALUMINUM STOREFRONT SYSTEM.	
17	ALUMINUM STOREFRONT SYSTEM ENTRANCE DOOR(S) w/ 1" INSULATED GLASS.	
18	PREFINISHED ALUMINUM WINDOW SYSTEM WITH METAL TRIM.	
19	FIRE-ENGINEERED ARCHITECTURAL METAL CANOPY w/ ADJUSTABLE HANGER RODS AND ANCHORS.	
20	INSULATED HOLLOW METAL SERVICE DOOR & FRAME - PAINT. PROVIDE LOOSE ANGLE LINTEL & HEAD - PAINT	
21	THROUGH WALL EMERGENCY OVERFLOW DRAIN NOZZLE WITH LAMB TONGUE FITTING AND INSECT SCREEN.	



B WEST ELEVATION
SCALE 3/16" = 1'-0"

RAREY'S PORT SHELL BUILDING
674-716 Main Street
Groveport, Ohio 43125
FOR **Miller Valentine Group**
409 E Monument Avenue, Suite 200, Dayton, Ohio 45402

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PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE	REVISION	DATE
SKETCH PLAN		APR. 3, 2020
PRELIMINARY		APR. 15, 2020
ZONING SUBMIT		JUN. 8, 2020
PAZ COMMISSION		OCT. 2, 2020

BUILDING ELEVATIONS AND NOTES

FAA #20209.00

GROVEPORT FRONT & MAIN

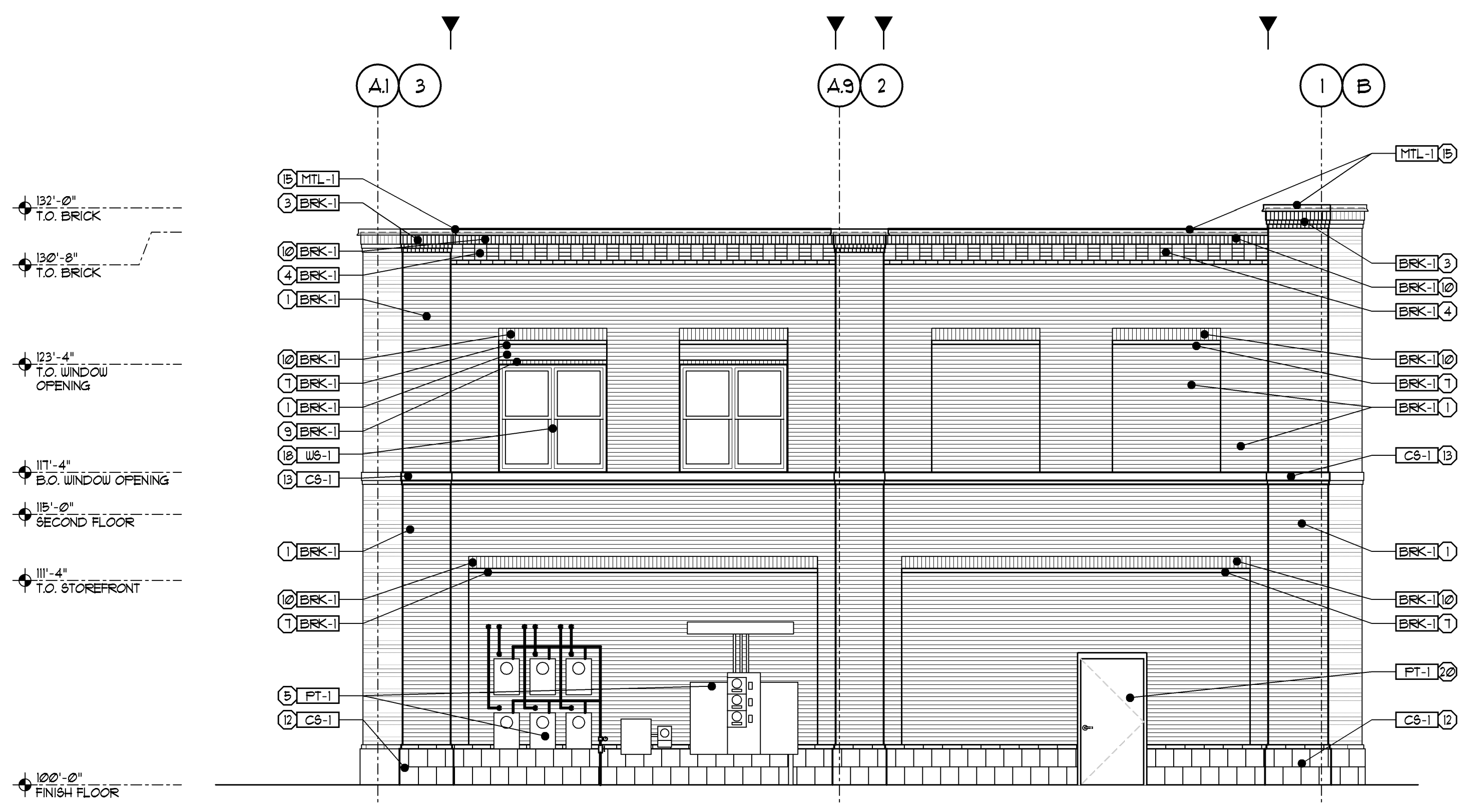
A-2.3

EXTERIOR FINISH SCHEDULE

MARK	TYPE	NOTES
BRK-1	BRICK VENEER - MODULAR	BELDEN COLOR - NAPIER BLEND A MORTAR - RICHCOLOR 40E TAN
MTL-1	PREFINISHED METAL COPING, FASCIA EDGE	DMI - MUSKET GRAY
AIN-1	FABRIC AWNING	SUNBRELLA - AWNING EASTLAND REDWOOD
EMC-1	FIRE-ENGINEERED METAL CANOPY	MATCH FINISH SF-1
PT-1	PAINT - SERVICE DOOR 4 WALL MOUNTED EQUIPMENT	SHERWIN WILLIAMS - #5W 2828 'ROOKWOOD DARK BROWN' EXTERIOR GRADE
SF-1	PREFINISHED ALUMINUM STOREFRONT SYSTEM	KAUENEER TRIFAB VG 4BIT SERIES 2" x 4 1/2" w/ 1" INSULATED GLASS, COLOR - BLACK
WS-1	PREFINISHED ALUMINUM WINDOW SYSTEM WITH METAL TRIM	KAUENEER - DOUBLE HUNG COLOR - BLACK
CS-1	ARCHITECTURAL CAST STONE	ROCKCAST - 'CREME BUFF'

ELEVATION CODED NOTES

- 1 MODULAR BRICK VENEER - RUNNING BOND
- 2 ACCENT CORNICE DETAIL - DIAMOND PATTERN ROULOCK COURSING.
- 3 BRICK 3-COURSE CORNICE - (1) SOLDIER OVER (2) HEADER COURSES - FULL 1/2" EACH COURSE.
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- 21 THROUGH WALL EMERGENCY OVERFLOW DRAIN NOZZLE WITH LAMB TONGUE FITTING AND INSECT SCREEN.



A WEST ELEVATION (ANGLED)
SCALE 3/16" = 1'-0"